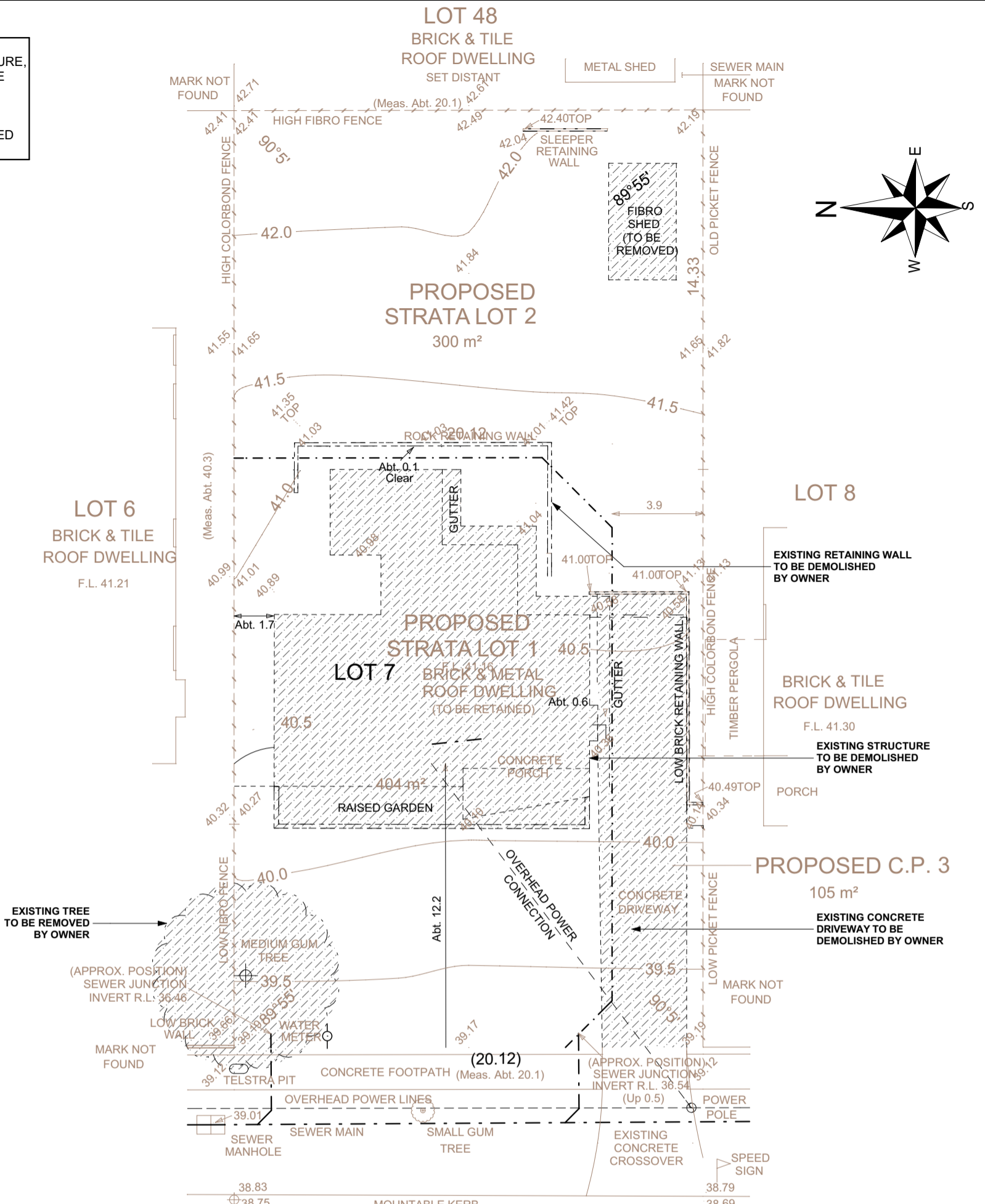


NOTE:
 -OWNER TO DEMOLISH ALL STRUCTURE, TREES AND OTHER OBJECTS TO THE SATISFACTION OF THE BUILDER AS SHOWN HATCHED.
 -OWNER IS LIABLE OF REMOVAL OF ANY BOUNDARY FENCES IF REQUIRED FOR CONSTRUCTION PURPOSES.

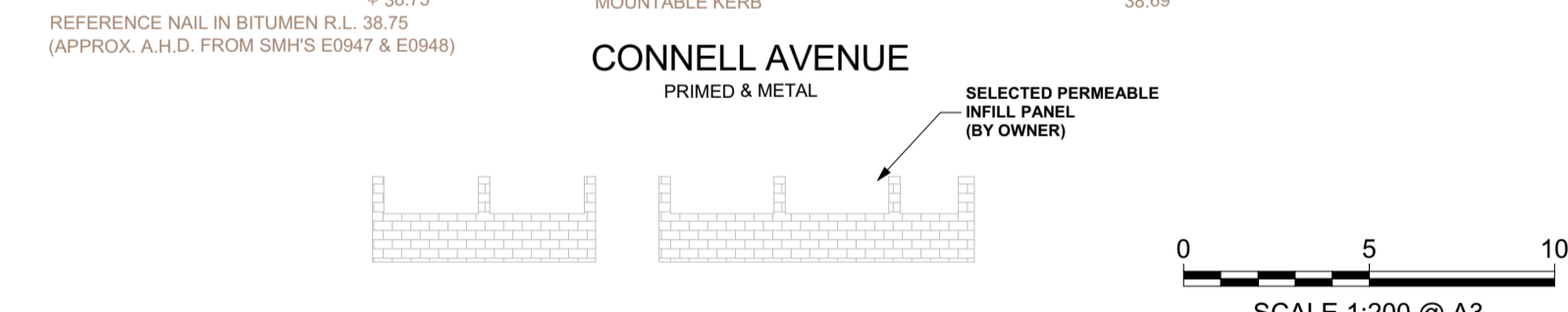


LOT STATISTICS

ORIGINAL LOT 7 TOTAL AREA 809 m²
 R15/25 MINIMUM LOT SIZE 300 m²
 R15/25 AVERAGE LOT SIZE 350 m²
 PROPOSED STRATA LOT 1 - 404 m²
 PROPOSED STRATA LOT 2 - 300 m²
 PROPOSED C.P. LOT 3 - 105 m²
 PROPOSED MINIMUM LOT SIZE 300 m²
 PROPOSED AVERAGE LOT SIZE 405 m²
 PROPOSED STRATA LOT 2 VARIATION TO REQUIRED MINIMUM LOT SIZE FOR R25 4%
 MAXIMUM ALLOWABLE VARIATION TO LOT SIZE 5%

DIAL 1100 BEFORE YOU DIG

POWER - OVERHEAD
 WATER - YES
 SEWERAGE - YES
 GAS - YES
 TELSTRA - YES
 HYDRANTS - REFER TO WATER CORP E-PLAN
 DRAINAGE - GOOD
 ROAD - BITUMEN
 KERB - MOUNTABLE
 FOOTPATH - LOCATED
 TREES - NONE
 OVERHANGING TREES - NONE
 OBVIOUS ENCROACHMENTS - NIL
 FLOOD FIRE PRONE AREA - NO



NOTE : SURVEY INFORMATION PROVIDED BY OTHERS.
 ALL BUILDINGS & STRUCTURES ON PROPOSED LOT 1 TO BE RETAINED, UNLESS OTHERWISE STATED.
 ALL BUILDINGS & STRUCTURES ON PROPOSED LOT 2 & COMMON PROPERTY TO BE REMOVED.

<p>PROPOSED SURVEY-STRATA OF LOT 7 #57 CONNELL AVENUE, KELMSCOTT</p>		<p>HEIGHT DATUM A.H.D.</p>		<p>CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC. THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS. A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION. INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN. SURVEYING SOLUTIONS WA ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS. CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY UNLESS SHOWN OTHERWISE.</p>																										
<p>PLAN : 8770 C/T : 88-82A AUTHORITY : CITY OF ARMADALE TOTAL LOT AREA : 809 m² Orig. SCALE : 1 : 200 @ A3 SURVEY DATE : N/A JOB : 16794</p>		<p>THIS PROPOSED SUBDIVISION PLAN IS SUBJECT TO APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION & LOCAL GOVERNMENT & IS SUBJECT TO FIELD SURVEY TO CONFIRM PROPOSED DIMENSIONS.</p>		<p>LAND DEVELOPMENT SURVEYING SOLUTIONS -LICENSED SURVEYORS PH: 9300 8137 MOB: 0419 117 617 PO BOX 324 JOONDALUP DC WA 6919 E-mail: admin@surveyingsolutionswa.com.au Web: www.surveyingsolutionswa.com.au</p>																										
<p>DRAFTED BY : GO DATE : 11-05-2020 CHECKED BY : DKM</p>		<p>PROPOSED RESIDENCE FOR: SAM CHO ADDRESS LOT 1 (#57) CONNELL AVENUE, KELMSCOTT (CITY OF ARMADALE)</p>		<p>REF NO.: 20004 DO NOT SCALE FROM THIS DRAWINGS All sub contractors to check dimensions & notes prior to commencing works. Any discrepancies to be notified to Site Supervision without delay. ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED</p>																										
<p>THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT DATED / /</p>		<table border="1"> <thead> <tr> <th>REV</th> <th>VO #</th> <th>DRN</th> <th>DATE</th> <th>CHECK</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>WORKING DRAWINGS</td> <td>VN-AM</td> <td>8/12/2020</td> <td>-</td> </tr> <tr> <td>2</td> <td>RETAINING</td> <td>BN</td> <td>18/11/2020</td> <td>-</td> </tr> <tr> <td>3</td> <td>RETAINING AMENDMENT</td> <td>ED</td> <td>24/11/2020</td> <td>RG</td> </tr> <tr> <td>4</td> <td>RETAINING AMENDMENT</td> <td>ED</td> <td>07/12/2020</td> <td>BN</td> </tr> </tbody> </table>		REV	VO #	DRN	DATE	CHECK	1	WORKING DRAWINGS	VN-AM	8/12/2020	-	2	RETAINING	BN	18/11/2020	-	3	RETAINING AMENDMENT	ED	24/11/2020	RG	4	RETAINING AMENDMENT	ED	07/12/2020	BN	<p>WIND RATING : TBA ENGINEERS DETAILS : A COASTAL CATEGORY : TBA</p>	
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<p>OWNER OWNER BUILDER</p>		<p>9 of 12</p>		<p>MODEL: CUSTOM</p>																										
<p>165 Canna Drive, Canning Vale, WA 6155 PO BOX 1858, Canning Vale DC, WA 6970 Email: office@personahomes.com.au T: (08) 9256 3000 F: (08) 9256 3911 Website: www.personahomes.com.au Register Builder No. 13624 ABN 84 150 918 522</p>		<p>Persona HOMES</p>		<p>COPYRIGHT © PERSONA HOMES This house design is the sole property of Persona Homes and should not be used or altered without the express written assignment or licence by the builder to nominated parties.</p>																										

COMMON DRIVEWAY	
No.	Soak Well Type
6.1 m ³	2 SW 1800x1200
6.1 m ³	Total Capacity
0.0 m ²	Roof Area GF
90.6 m ²	Paved Area
90.6 m ²	Total Area
1.1 m ³	Capacity Required (Area x 0.0125)
5.0 m ³	Extra Capacity Provided

LOT 1	
No.	Soak Well Type
3.1 m ³	1 SW 1800x1200
3.1 m ³	Total Capacity
231.7 m ²	Roof Area GF
231.7 m ²	Total Area
2.9 m ³	Capacity Required (Area x 0.0125)
0.2 m ³	Extra Capacity Provided

NOTE
ALL DOWNPIPES CONNECTED TO SOAKWELL WITH PVC STORM WATER PIPE

LOT 1 (#57) CONNELL AVENUE, KELMSCOTT
SITE COVERAGE CALCULATIONS **R25**

Total	404.06m ² +	
Block Area	1/2 CP(105.26) 52.62m ² = 456.69m ²	
House & Garage	204.58m ²	
Total Site Cover (%)	44.79%	
LOCATION	GRANO (m ²)	PAVING BY OWNER (m ²)
Driveway, Porch, Alfresco Path	0.00 m ²	28.19 m ²
Garage & Store	36.68 m ²	0.00 m ²
Common Property	0.00 m ²	45.465 m ²

NOTE
HOBLESS SHOWERS REFLUX VALVE INCLUDED

TERMITE MANAGEMENT NOTE
1. TERMITE TREATMENT MANAGEMENT WILL BE IN ACCORDANCE WITH PART 3.1.3.2 OF THE NATIONAL CONSTRUCTION CODE - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS.
2. OWNER PLEASE NOTE, FOLLOW UP APPLICATIONS WILL BE REQUIRED AS PER TERMITE MANAGEMENT SPECIFICATION.

NOTE
HOBLESS SHOWERS REFLUX VALVE INCLUDED

NOTE:
TBA WIND CLASSIFICATION
TBA CORROSION CLASSIFICATION

LANDSCAPING BY OWNER

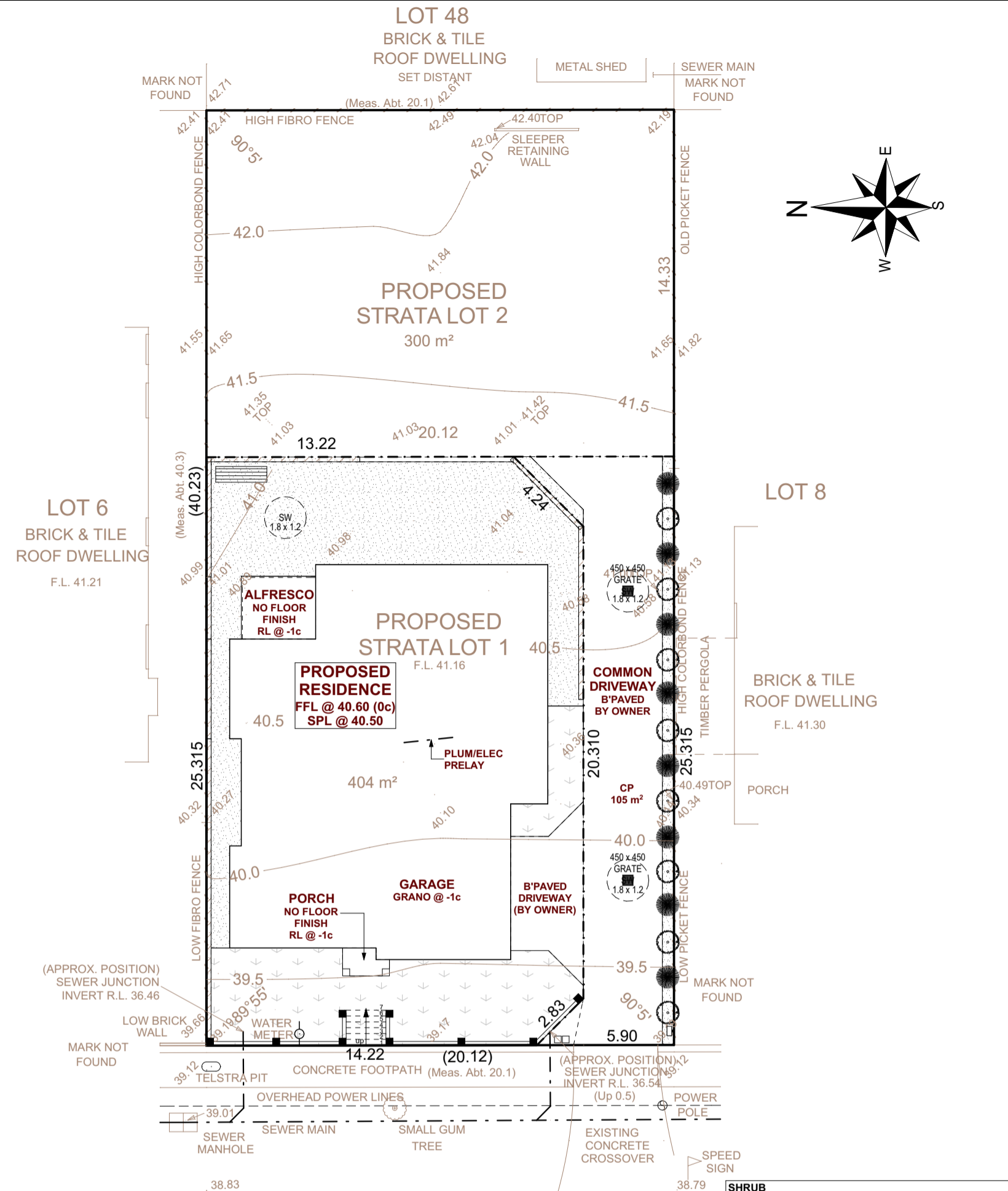
TERMITE MANAGEMENT NOTE
TYPES OF AND SIZE OF PLANTS INDICATED ARE INDICATIVE ONLY AND FINAL SELECTIONS IS SUBJECT TO AVAILABILITY AT TIME OF PLANTING. ALL OPEN/Common AREAS TO BE PROVIDED WITH A SELECTION OF GROUND COVERS AND MULCHED.

RETICULATION
GARDEN BEDS - PLANT SPECIFIC DRIPPER SYSTEM FROM RETIC CONTROLLER
LAWN AREA - SPECIFIC POP UP SPRINKLERS FROM RETIC CONTROLLER

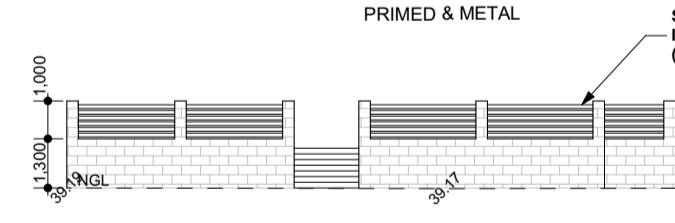
LOT STATISTICS	
ORIGINAL LOT 7 TOTAL AREA	809 m ²
R15/25 MINIMUM LOT SIZE	300 m ²
R15/25 AVERAGE LOT SIZE	350 m ²
PROPOSED STRATA LOT 1	404 m ²
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PROPOSED STRATA LOT 2 VARIATION TO REQUIRED MINIMUM LOT SIZE FOR R25 4%	
MAXIMUM ALLOWABLE VARIATION TO LOT SIZE 5%	

DIAL 1100 BEFORE YOU DIG

POWER - OVERHEAD	YES
WATER - YES	YES
SEWERAGE - YES	YES
GAS - YES	YES
TELSTRA - YES	YES
HYDRANTS - REFER TO WATER CORP E-PLAN	
DRAINAGE - GOOD	
ROAD - BITUMEN	
KERB - MOUNTABLE	
FOOTPATH - LOCATED	
VIEWS - NONE	
OVERHANGING TREES - NONE	
OBVIOUS ENCROACHMENTS - NIL	
BUSH FIRE PRONE AREA - NO	



REFERENCE NAIL IN BITUMEN R.L. 38.75
(APPROX. A.H.D. FROM SMH'S E0947 & E0948)



#	DESCRIPTION	POT SIZE
10	DIANELLA HYBRID "SILVER STREAK" (H=0.5m, W=0.5m) SPACING (1.0)	140mm
11	FESTUCA GLAUCA "BLUE FESCUE" (H=0.3m, W=0.3m) SPACING (2.5)	140mm
MULCH (THICKNESS NO LESS THAN 70mm)		
SELECTED ROLL ON LAWN		



PROPOSED BOUNDARY
EXISTING BOUNDARY

NOTE : SURVEY INFORMATION PROVIDED BY OTHERS.
ALL BUILDINGS & STRUCTURES ON PROPOSED LOT 1 TO BE RETAINED, UNLESS OTHERWISE STATED.
ALL BUILDINGS & STRUCTURES ON PROPOSED LOT 2 & COMMON PROPERTY TO BE REMOVED.

PROPOSED SURVEY-STRATA OF LOT 7 #57 CONNELL AVENUE, KELMSCOTT

PLAN	: 8770
C/T	: 88-82A
AUTHORITY	: CITY OF ARMADALE
TOTAL LOT AREA	: 809 m ² Orig.
SCALE	: 1 : 200 @ A3
SURVEY DATE	: N/A
JOB	: 16794

THIS PROPOSED SUBDIVISION PLAN IS SUBJECT TO APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION & LOCAL GOVERNMENT & IS SUBJECT TO FIELD SURVEY TO CONFIRM PROPOSED DIMENSIONS.

DRAFTED BY	: GO
DATE	: 11-05-2020
CHECKED BY	: DKM

HEIGHT DATUM A.H.D.

LAND DEVELOPMENT
SURVEYING WA SOLUTIONS
-LICENSED SURVEYORS

PH: 9300 8137 MOB: 0419 117 617
PO BOX 324
JOONDALUP DC WA 6919
E-mail: admin@surveyingsolutionswa.com.au
Web: www.surveyingsolutionswa.com.au

CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC.
THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS.
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Persona HOMES

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Email: office@personahomes.com.au
T: (08) 9256 3000 F: (08) 9256 3911
Website: www.personahomes.com.au
Register Builder No. 13624 ABN 84 150 918 522

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT
DATED / /

OWNER
OWNER
BUILDER

REV	VO #	DRN	DATE	CHECK
1	WORKING DRAWINGS	VN-AM	8/12/2020	-
2	RETAINING	BN	18/11/2020	-
3	RETAINING AMENDMENT	ED	24/11/2020	RG
4	RETAINING AMENDMENT	ED	07/12/2020	BN

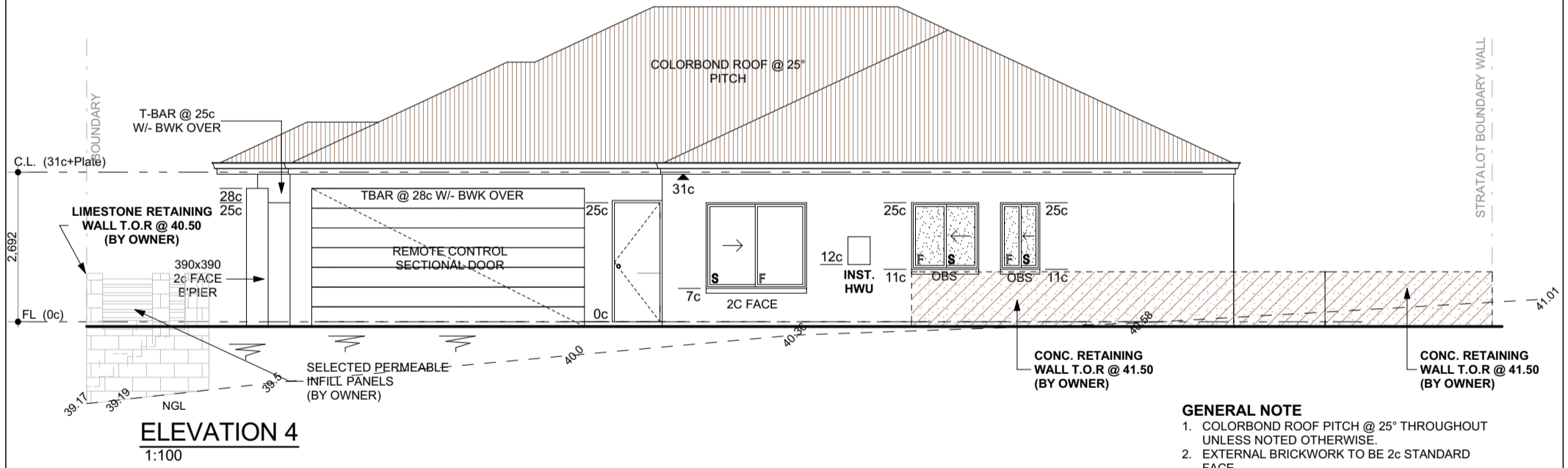
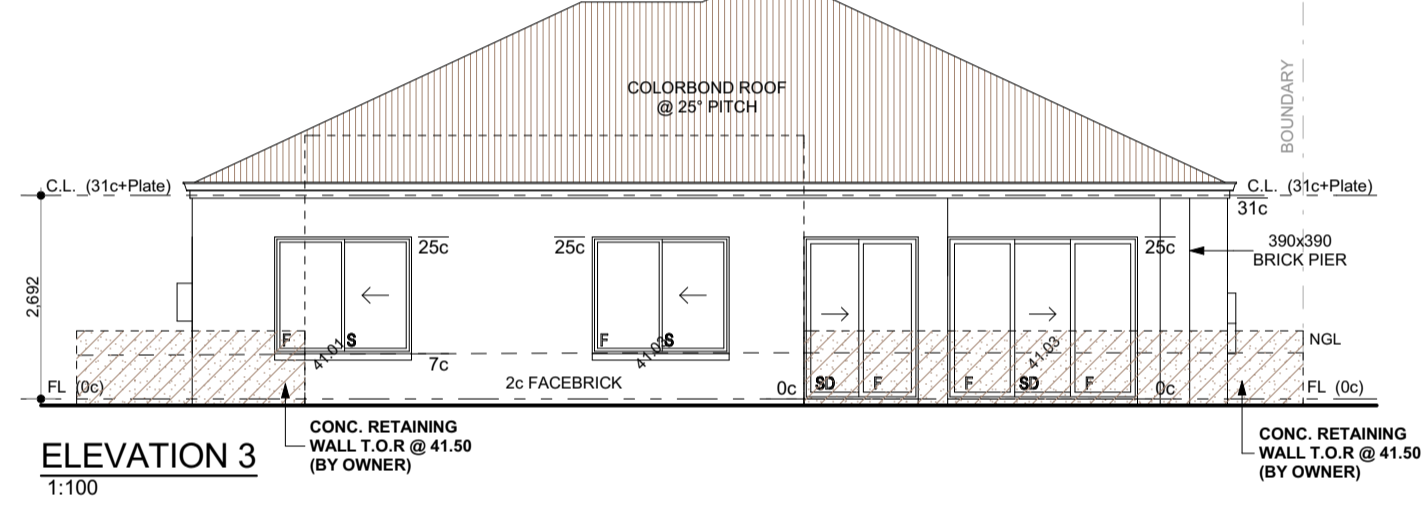
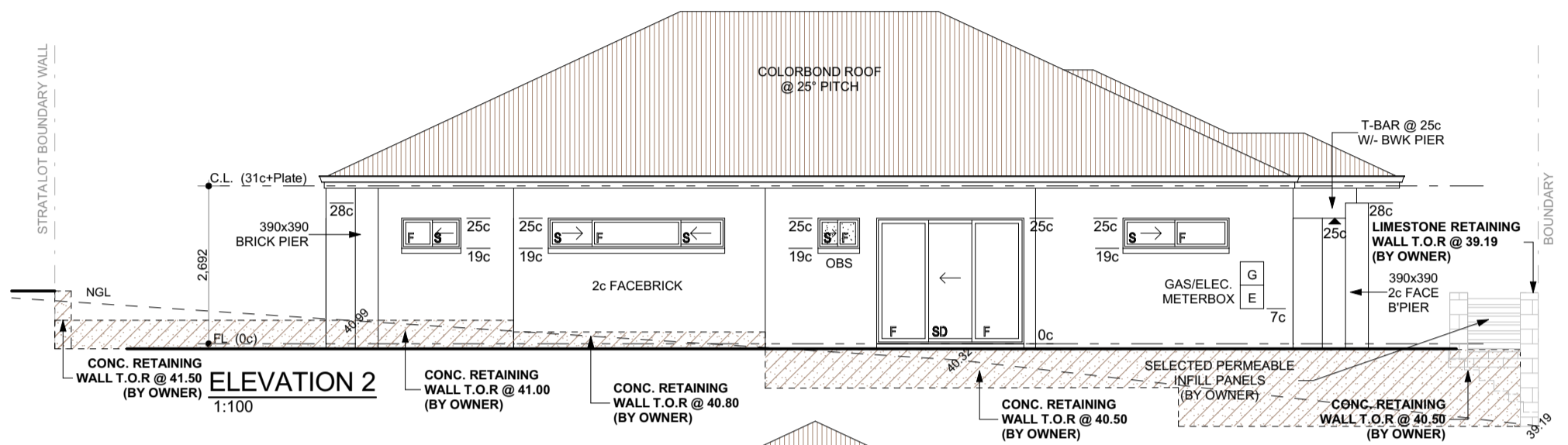
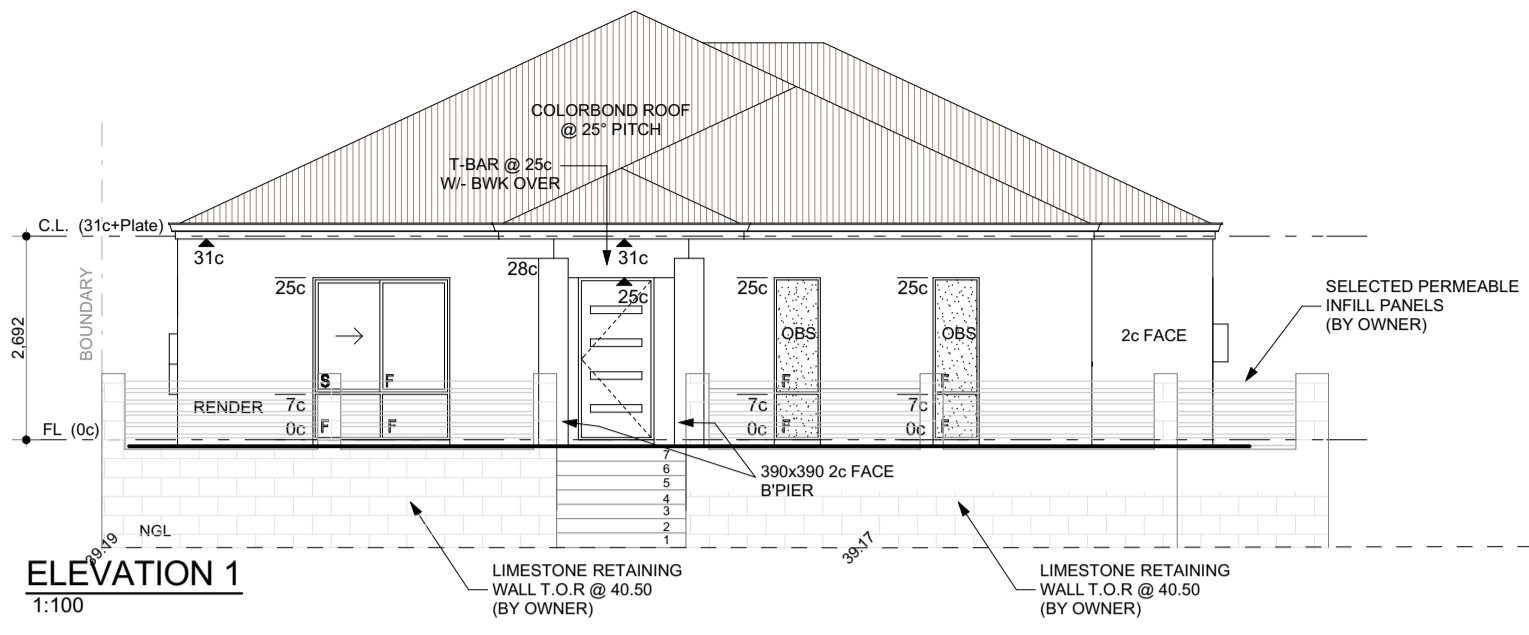
PROPOSED RESIDENCE FOR:
SAM CHO
ADDRESS
LOT 1 (#57) CONNELL AVENUE, KELMSCOTT (CITY OF ARMADALE)

REF NO.: 20004
DO NOT SCALE FROM THIS DRAWINGS
All sub contractors to check dimensions & notes prior to commencing works. Any discrepancies to be notified to Site Supervision without delay.
ALL DIMENSIONS ARE TO BRICKWORK
ERRORS AND OMISSIONS EXCEPTED

WIND RATING	ENGINEERS DETAILS	COASTAL CATEGORY
TBA	A	TBA

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11 of 12 MODEL: CUSTOM



- GENERAL NOTE**
1. COLORBOND ROOF PITCH @ 25° THROUGHOUT UNLESS NOTED OTHERWISE.
 2. EXTERNAL BRICKWORK TO BE 2c STANDARD FACE
 3. REFER CONCRETE SLAB, FOOTING TO ENGINEERING DRAWINGS
 4. H2 TREATED ROOF FRAME IN ACCORDANCE W/- A.S. 1684 AND TO BCA REQUIREMENTS

- WINDOW SUPPLIER NOTE**
1. SHADED WINDOWS INDICATES OBSCURE GLAZING
 2. DOWELL OR EQUIVALENT ALUMINUM WINDOWS AND SLIDING DOORS
 3. GLAZING TO BE IN ACCORDANCE WITH BCA PART 3.6 AND COMPLY WITH AS 2047 AND AS 1288

NOTE:
TBA WIND CLASSIFICATION
TBA CORROSION CLASSIFICATION



165 Canna Drive, Canning Vale, WA 6155
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Register Builder No. 13624 ABN 84 150 918 522

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT
DATED / /
OWNER
OWNER
BUILDER

REV	VO #	DRN	DATE	CHECK
1	WORKING DRAWINGS	VN-AM	8/12/2020	-
2	RETAINING	BN	18/11/2020	-
3	RETAINING AMENDMENT	ED	24/11/2020	RG
4	RETAINING AMENDMENT	ED	07/12/2020	BN

PROPOSED RESIDENCE FOR:
SAM CHO
ADDRESS
LOT 1 (#57) CONNELL AVENUE, KELMSCOTT (CITY OF ARMADALE)

Elevations 1-4
SCALE AS SHOWN ON A3

2 of 12 MODEL: CUSTOM

REF NO.: 20004

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WIND RATING	ENGINEERS DETAILS	COASTAL CATEGORY
TBA	A	TBA

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COMMON DRIVEWAY	
No. Soak Well Type	2 SW 1800x1200
6.1 m3 Total Capacity	
0.0 m2 Roof Area GF	
90.6 m2 Paved Area	
90.6 m2 Total Area	
1.1 m3 Capacity Required (Area x 0.0125)	
5.0 m3 Extra Capacity Provided	

LOT 2	
No. Soak Well Type	1 SW 1800x1200
3.1 m3 Total Capacity	
231.7 m2 Roof Area GF	
231.7 m2 Total Area	
2.9 m3 Capacity Required (Area x 0.0125)	
0.2 m3 Extra Capacity Provided	

NOTE
ALL DOWNPIPES CONNECTED TO SOAKWELL WITH PVC STORM WATER PIPE

LOT 2 (#57) CONNELL AVENUE, KELMSCOTT

SITE COVERAGE CALCULATIONS R25

Total 300.06m² +
Block Area 1/2 CP(105.26) 52.62m² = 352.69m²

House & Garage 172.37m²

Total Site Cover (%) 48.87%

LOCATION	GRANO (m ²)	PAVING (m ²)
Driveway, Porch, Alfresco Path	0.00 m ²	61.41 m ²
Garage & Store	36.45 m ²	0.00 m ²

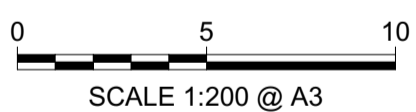
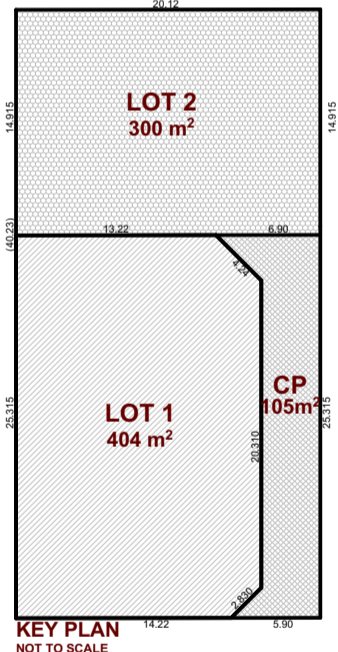
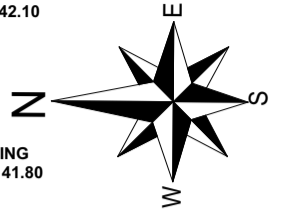
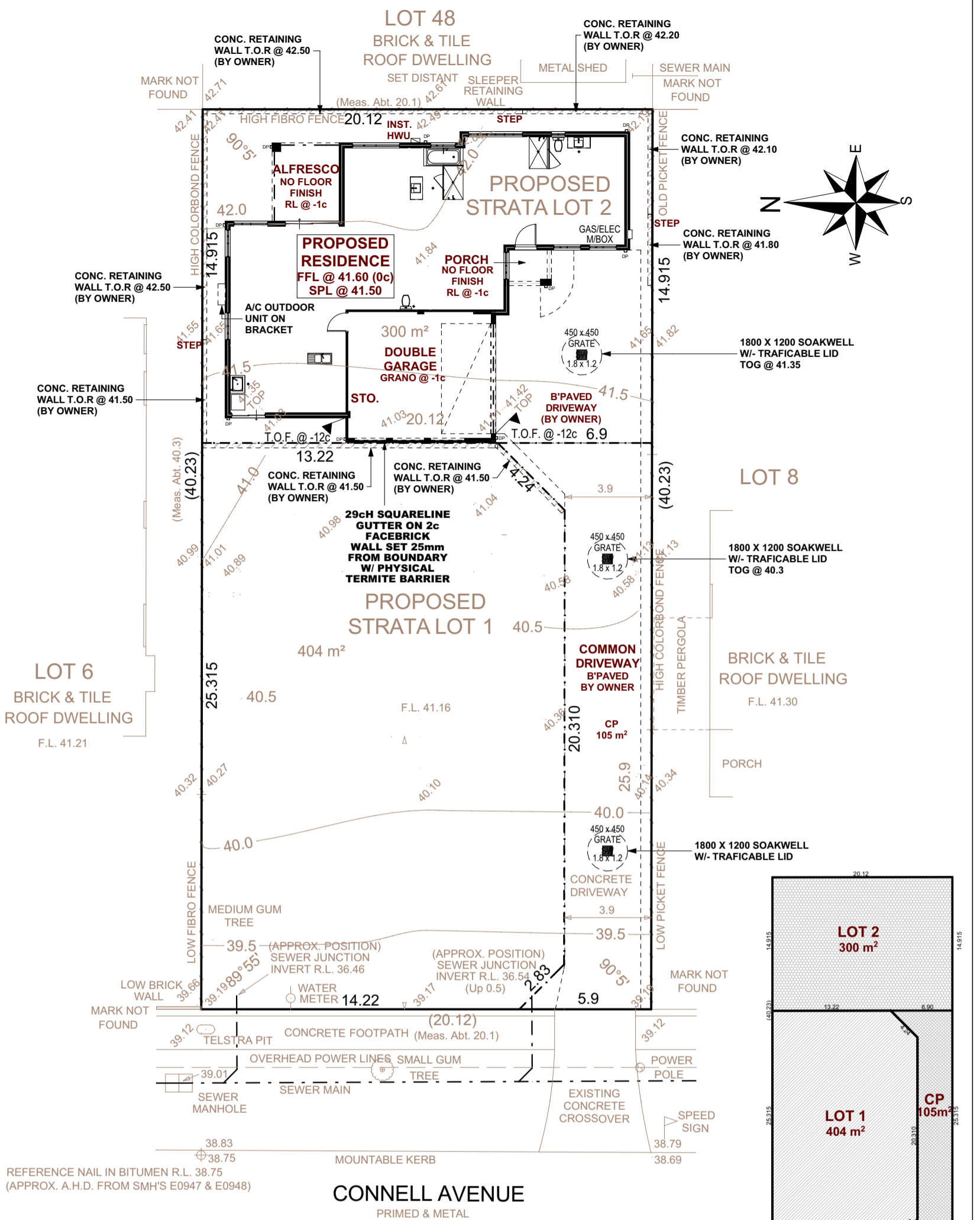
NOTE
HOBLESS SHOWERS REFLUX VALVE INCLUDED

TERMITE MANAGEMENT NOTE

- TERMITE TREATMENT MANAGEMENT WILL BE IN ACCORDANCE WITH PART 3.1.3.2 OF THE NATIONAL CONSTRUCTION CODE - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS.
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NOTE
HOBLESS SHOWERS REFLUX VALVE INCLUDED

NOTE:
TBA WIND CLASSIFICATION
TBA CORROSION CLASSIFICATION



DIAL 1100 BEFORE YOU DIG

POWER - OVERHEAD	WATER - YES
SEWERAGE - YES	GAS - YES
TELSTRA - YES	HYDRANTS - REFER TO WATER CORP E-PLAN
DRAINAGE - GOOD	ROAD - BITUMEN
KERB - MOUNTABLE	FOOTPATH - LOCATED
VIEWS - NONE	OVERHANGING TREES - NONE
OBVIOUS ENCROACHMENTS - NIL	BUSH FIRE PRONE AREA - NO

LOT STATISTICS

ORIGINAL LOT 7 TOTAL AREA 809 m²
R15/25 MINIMUM LOT SIZE 300 m²
R15/25 AVERAGE LOT SIZE 350 m²

PROPOSED STRATA LOT 1 - 404 m²
PROPOSED STRATA LOT 2 - 300 m²
PROPOSED C.P. LOT 3 - 105 m²

PROPOSED MINIMUM LOT SIZE 300 m²
PROPOSED AVERAGE LOT SIZE 405 m²

PROPOSED STRATA LOT 2 VARIATION TO REQUIRED MINIMUM LOT SIZE FOR R25 4%
MAXIMUM ALLOWABLE VARIATION TO LOT SIZE 5%

PROPOSED BOUNDARY
EXISTING BOUNDARY

NOTE : SURVEY INFORMATION PROVIDED BY OTHERS.
ALL BUILDINGS & STRUCTURES ON PROPOSED LOT 1 TO BE RETAINED, UNLESS OTHERWISE STATED.
ALL BUILDINGS & STRUCTURES ON PROPOSED LOT 2 & COMMON PROPERTY TO BE REMOVED.

PROPOSED SURVEY-STRATA OF LOT 7 #57 CONNELL AVENUE, KELMSCOTT

PLAN : 8770	THIS PROPOSED SUBDIVISION PLAN IS SUBJECT TO APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION & LOCAL GOVERNMENT & IS SUBJECT TO FIELD SURVEY TO CONFIRM PROPOSED DIMENSIONS.
C/T : 88-82A	
AUTHORITY : CITY OF ARMADALE	
TOTAL LOT AREA : 809 m ² Orig.	
SCALE : 1 : 200 @ A3	
SURVEY DATE : N/A	
JOB : 16794	DRAFTED BY : GO DATE : 11-05-2020 CHECKED BY : DKM

HEIGHT DATUM A.H.D.

LAND DEVELOPMENT
SURVEYING WA SOLUTIONS
-LICENSED SURVEYORS

PH: 9300 8137 MOB: 0419 117 617
PO BOX 324
JOONDALUP DC WA 6919
E-mail: admin@surveyingsolutionswa.com.au
Web: www.surveyingsolutionswa.com.au

CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC.
THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS.
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Register Builder No. 13624 ABN 84 150 918 522

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED / /

OWNER

OWNER

BUILDER

REV	VO #	DRN	DATE	CHECK
1	WORKING DRAWINGS	VN-PB	9/22/2020	-

PROPOSED RESIDENCE FOR:
SAM CHO
ADDRESS
UNIT 2 (#57) CONNELL AVE, KELMSCOTT (CITY OF ARMADALE)

Site Plan
SCALE AS SHOWN ON A3

10 of 12 MODEL: CUSTOM

REF NO.: 20004

DO NOT SCALE FROM THIS DRAWINGS
All sub contractors to check dimensions & notes prior to commencing works. Any discrepancies to be notified to Site Supervision without delay.
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WIND RATING	ENGINEERS DETAILS	COASTAL CATEGORY
TBA	A	TBA

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COMMON DRIVEWAY	
No.	Soak Well Type
6.1 m3	2 SW 1800x1200
6.1 m3	Total Capacity
0.0 m2	Roof Area GF
90.6 m2	Paved Area
90.6 m2	Total Area
1.1 m3	Capacity Required (Area x 0.0125)
5.0 m3	Extra Capacity Provided

LOT 2	
No.	Soak Well Type
3.1 m3	1 SW 1800x1200
3.1 m3	Total Capacity
231.7 m2	Roof Area GF
231.7 m2	Total Area
2.9 m3	Capacity Required (Area x 0.0125)
0.2 m3	Extra Capacity Provided

NOTE
ALL DOWNPIPES CONNECTED TO SOAKWELL WITH PVC STORM WATER PIPE

LOT 2 (#57) CONNELL AVENUE, KELMSCOTT
SITE COVERAGE CALCULATIONS **R25**

Total	300.06m ² +
Block Area	1/2 CP(105.26) 52.62m ² = 352.69m ²
House & Garage	172.37m ²
Total Site Cover (%)	48.87%

LOCATION	GRANO (m ²)	PAVING (m ²)
Driveway, Porch, Alfresco Path	0.00 m ²	61.41 m ²
Garage & Store	36.45 m ²	0.00 m ²

NOTE
HOBLESS SHOWERS REFLUX VALVE INCLUDED

TERMITE MANAGEMENT NOTE

- TERMITE TREATMENT MANAGEMENT WILL BE IN ACCORDANCE WITH PART 3.1.3.2 OF THE NATIONAL CONSTRUCTION CODE - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS.
- OWNER PLEASE NOTE, FOLLOW UP APPLICATIONS WILL BE REQUIRED AS PER TERMITE MANAGEMENT SPECIFICATION.

NOTE
HOBLESS SHOWERS REFLUX VALVE INCLUDED

NOTE:
TBA WIND CLASSIFICATION
TBA CORROSION CLASSIFICATION

LANDSCAPING BY OWNER

TERMITE MANAGEMENT NOTE

TYPES OF AND SIZE OF PLANTS INDICATED ARE INDICATIVE ONLY AND FINAL SELECTIONS IS SUBJECT TO AVAILABILITY AT TIME OF PLANTING. ALL OPEN/Common AREAS TO BE PROVIDED WITH A SELECTION OF GROUND COVERS AND MULCHED.

RETICULATION

GARDEN BEDS - PLANT SPECIFIC DRIPPER SYSTEM FROM RETIC CONTROLLER
LAWN AREA - SPECIFIC POP UP SINKERS FROM RETIC CONTROLLER

SHRUB

#	DESCRIPTION	POT SIZE
10	DIANELLA HYBRID "SILVER STREAK" (H=0.5m, W=0.5m) SPACING (1.0)	140mm
11	FESTUCA GLAUCA "BLUE FESCUE" (H=0.3m, W=0.3m) SPACING (2.5)	140mm

MULCH (THICKNESS NO LESS THAN 70mm)

SELECTED ROLL ON LAWN

DIAL 1100 BEFORE YOU DIG	
POWER - OVERHEAD	LOT STATISTICS
WATER - YES	ORIGINAL LOT 7 TOTAL AREA 809 m ²
SEWERAGE - YES	R15/25 MINIMUM LOT SIZE 300 m ²
GAS - YES	R15/25 AVERAGE LOT SIZE 350 m ²
TELSTRA - YES	PROPOSED STRATA LOT 1 - 404 m ²
HYDRANTS - REFER TO WATER CORP E-PLAN	PROPOSED STRATA LOT 2 - 300 m ²
DRAINAGE - GOOD	PROPOSED C.P. LOT 3 - 105 m ²
ROAD - BITUMEN	PROPOSED MINIMUM LOT SIZE 300 m ²
KERB - MOUNTABLE	PROPOSED AVERAGE LOT SIZE 405 m ²
FOOTPATH - LOCATED	PROPOSED STRATA LOT 2 VARIATION TO REQUIRED MINIMUM LOT SIZE FOR R25 4%
VIEWS - NONE	MAXIMUM ALLOWABLE VARIATION TO LOT SIZE 5%
OVERHANGING TREES - NONE	
OBVIOUS ENCROACHMENTS - NIL	
BUSH FIRE PRONE AREA - NO	

PROPOSED SURVEY-STRATA OF LOT 7 #57 CONNELL AVENUE, KELMSCOTT

PLAN : 8770
C/T : 88-82A
AUTHORITY : CITY OF ARMADALE
TOTAL LOT AREA : 809 m² Orig.
SCALE : 1 : 200 @ A3
SURVEY DATE : N/A
JOB : 16794

THIS PROPOSED SUBDIVISION PLAN IS SUBJECT TO APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION & LOCAL GOVERNMENT & IS SUBJECT TO FIELD SURVEY TO CONFIRM PROPOSED DIMENSIONS.

DRAFTED BY : GO
DATE : 11-05-2020
CHECKED BY : DKM

HEIGHT DATUM A.H.D.

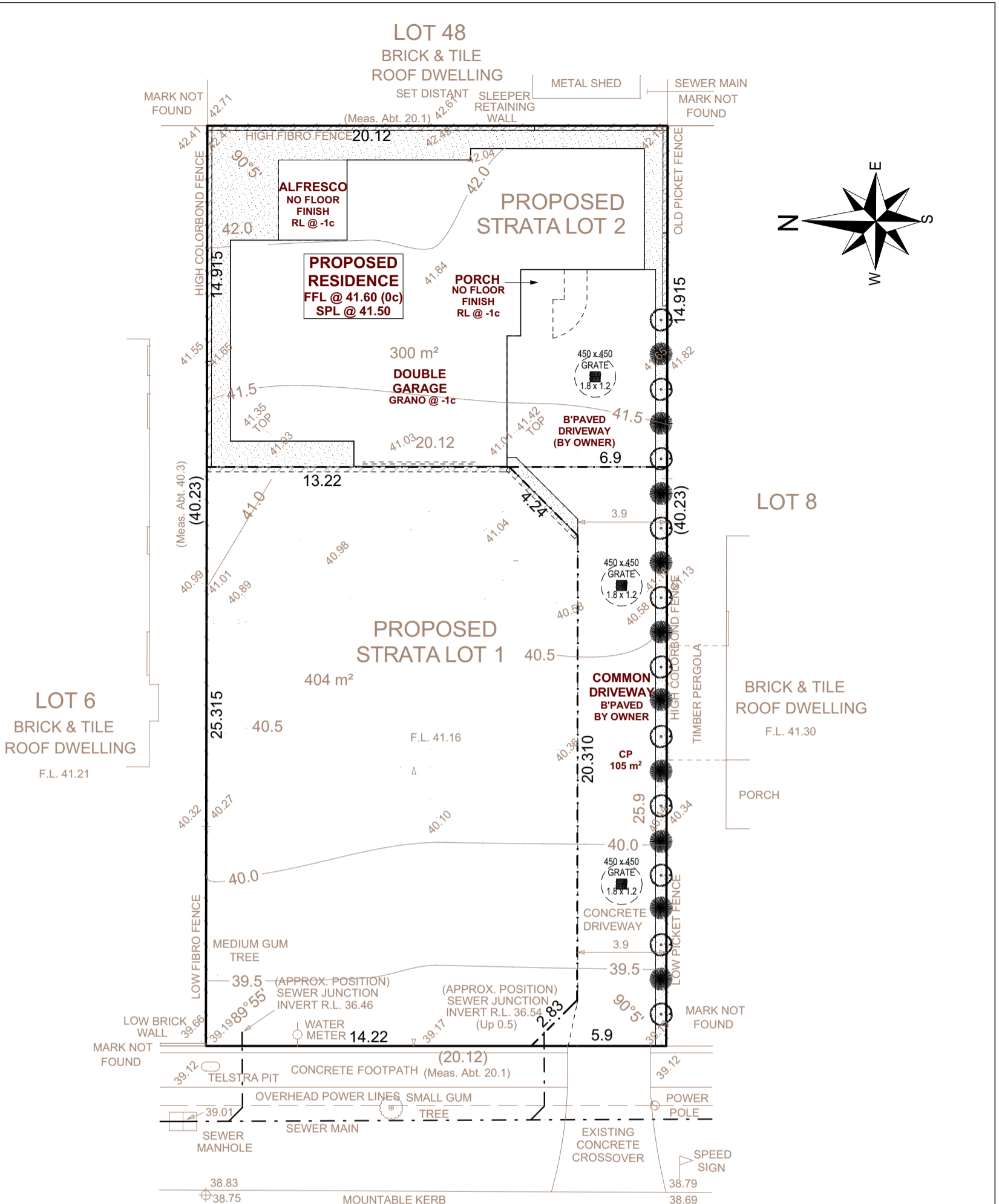
LAND DEVELOPMENT **SURVEYING SOLUTIONS** - LICENSED SURVEYORS

PH: 9300 8137 MOB: 0419 117 617
PO BOX 324
JOONDALUP DC WA 6919
E-mail: admin@surveyingsolutionswa.com.au
Web: www.surveyingsolutionswa.com.au

CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC.
THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS.
A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION.
INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN. SURVEYING SOLUTIONS WA ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS. CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY UNLESS SHOWN OTHERWISE.

PERSONA HOMES

165 Canna Drive, Canning Vale, WA 6155
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T: (08) 9256 3000 F: (08) 9256 3911
Website: www.personahomes.com.au
Register Builder No. 13624 ABN 84 150 918 522



REFERENCE NAIL IN BITUMEN R.L. 38.75 (APPROX. A.H.D. FROM SMH'S E0947 & E0948)

CONNELL AVENUE
PRIMED & METAL

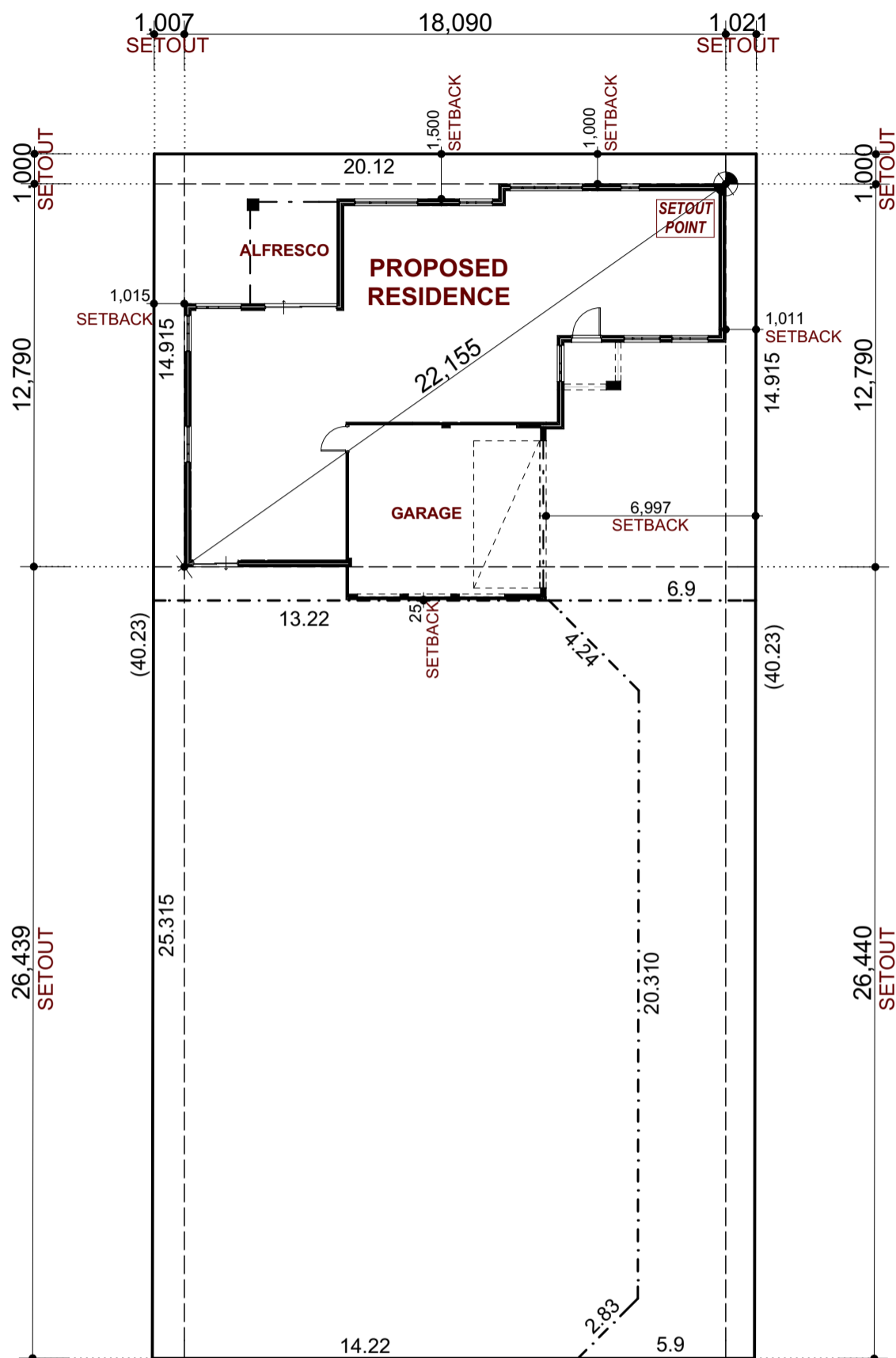
PROPOSED BOUNDARY
EXISTING BOUNDARY

NOTE : SURVEY INFORMATION PROVIDED BY OTHERS.

ALL BUILDINGS & STRUCTURES ON PROPOSED LOT 1 TO BE RETAINED, UNLESS OTHERWISE STATED.
ALL BUILDINGS & STRUCTURES ON PROPOSED LOT 2 & COMMON PROPERTY TO BE REMOVED.

REV	VO #	DRN	DATE	CHECK	PROPOSED RESIDENCE FOR:
1	WORKING DRAWINGS	VN-PB	9/22/2020	-	SAM CHO
					ADDRESS
					UNIT 2 (#57) CONNELL AVE, KELMSCOTT (CITY OF ARMADALE)

OWNER	REF NO.: 20004	DO NOT SCALE FROM THIS DRAWINGS All sub contractors to check dimensions & notes prior to commencing works. Any discrepancies to be notified to Site Supervision without delay. ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED
OWNER	WIND RATING: TBA	ENGINEERS DETAILS: A
BUILDER	COASTAL CATEGORY: TBA	COPYRIGHT © PERSONA HOMES This house design is the sole property of Persona Homes and should not be used or altered without the express written assignment or licence by the builder to nominated parties.



SETOUT PLAN
SCALE 1:200



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 Register Builder No. 13624 ABN 84 150 918 522

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED / /

OWNER

OWNER

BUILDER

REV	VO #	DRN	DATE	CHECK
1	WORKING DRAWINGS	VN-PB	9/22/2020	-

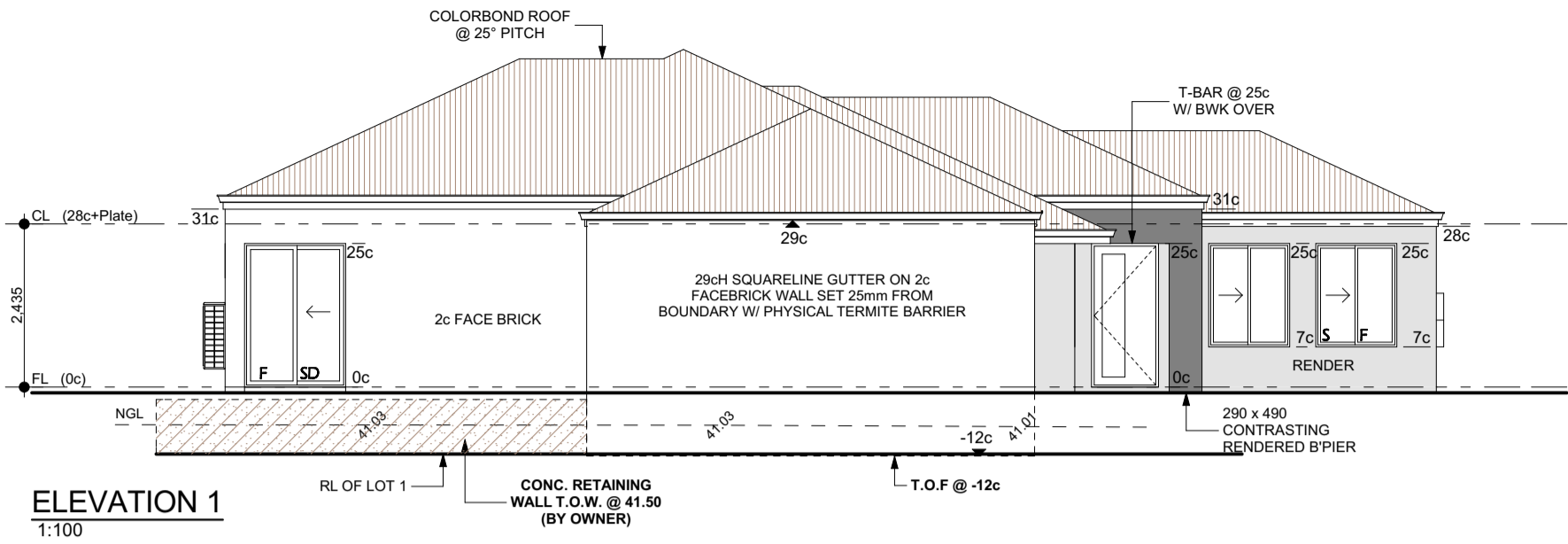
PROPOSED RESIDENCE FOR:
SAM CHO
 ADDRESS
 UNIT 2 (#57) CONNELL AVE, KELMSCOTT (CITY OF ARMADALE)

Setout and Setback Plan
 SCALE AS SHOWN ON A3

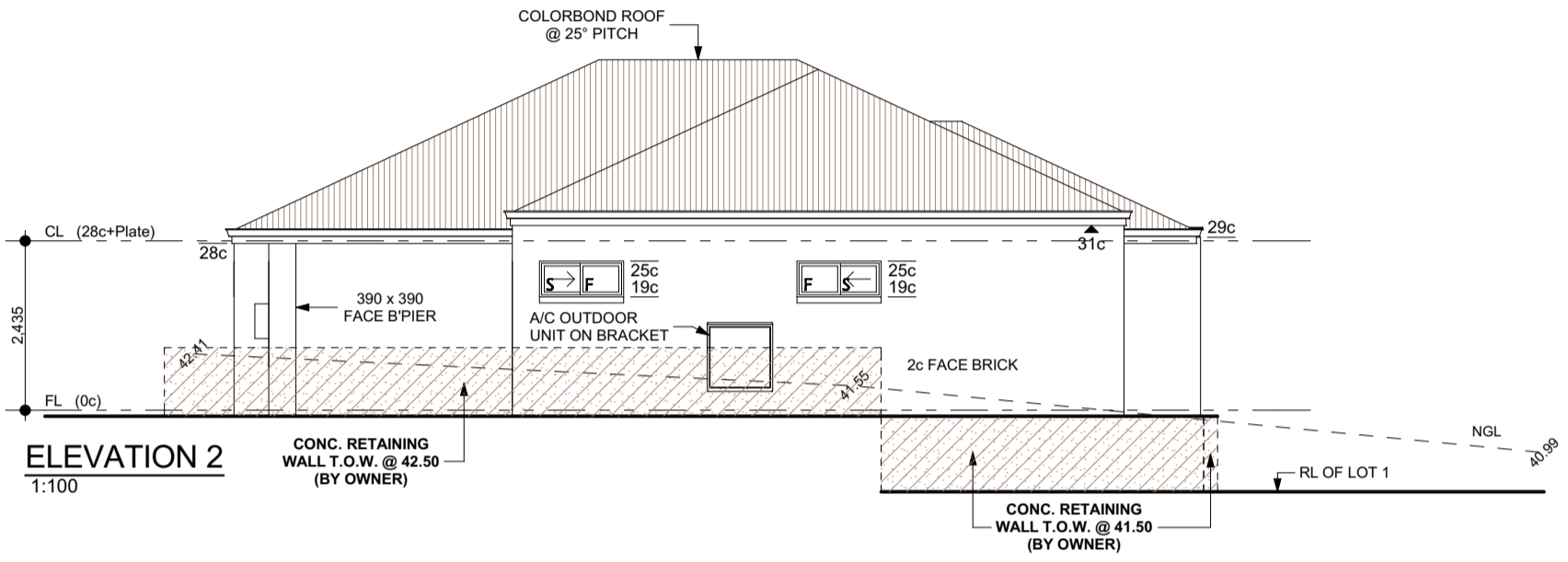
12 of 12 MODEL: CUSTOM

REF NO.: 20004	DO NOT SCALE FROM THIS DRAWINGS All sub contractors to check dimensions & notes prior to commencing works. Any discrepancies to be notified to Site Supervision without delay. ALL DIMENSIONS ARE TO BRICKWORK ERRORS AND OMISSIONS EXCEPTED		
WIND RATING TBA	ENGINEERS DETAILS A	COASTAL CATEGORY TBA	

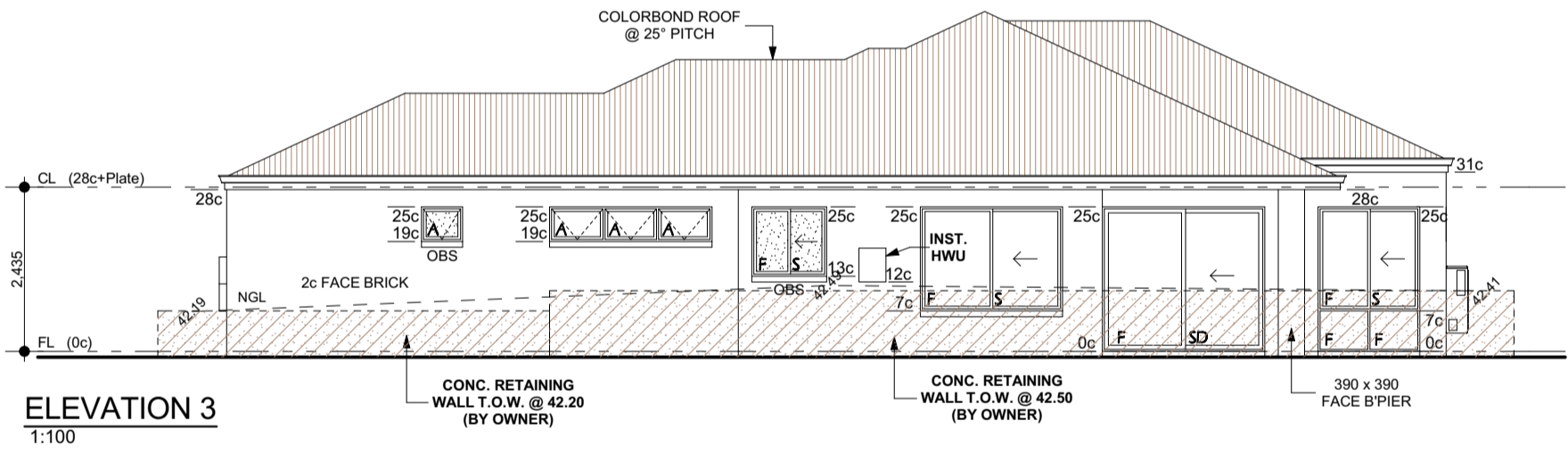
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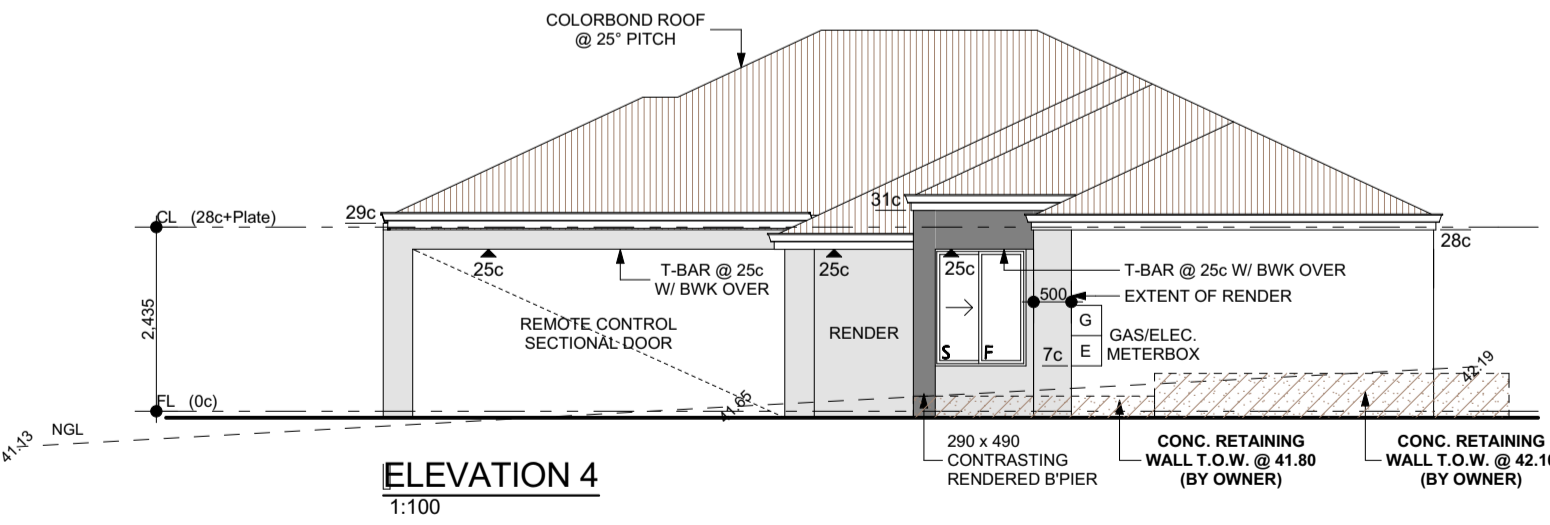
ELEVATION 1
1:100



ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100

GENERAL NOTE

1. COLORBOND ROOF PITCH @ 25° THROUGHOUT UNLESS NOTED OTHERWISE.
2. EXTERNAL BRICKWORK TO BE 2c STANDARD FACE EXTERNALLY WITH ACRYLIC TEXTURED RENDER FINISH TO FRONT ELEVATIONS AS SHOWN
3. REFER CONCRETE SLAB, FOOTING TO ENGINEERING DRAWINGS
4. H2 TREATED ROOF FRAME IN ACCORDANCE W/- A.S. 1684 AND TO BCA REQUIREMENTS

WINDOW SUPPLIER NOTE

1. SHADED WINDOWS INDICATES OBSCURE GLAZING
2. DOWELL OR EQUIVALENT ALUMINUM WINDOWS AND SLIDING DOORS
3. GLAZING TO BE IN ACCORDANCE WITH BCA PART 3.6 AND COMPLY WITH AS 2047 AND AS 1288



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 DATED / /

OWNER
 OWNER
 BUILDER

REV	VO #	DRN	DATE	CHECK
1	WORKING DRAWINGS	VN-PB	9/22/2020	-

PROPOSED RESIDENCE FOR:
SAM CHO
 ADDRESS
 UNIT 2 (#57) CONNELL AVE, KELMSCOTT (CITY OF ARMADALE)

Elevations 1-4
 SCALE AS SHOWN ON A3

REF NO.: 20004

WIND RATING: TBA ENGINEERS DETAILS: A COASTAL CATEGORY: TBA

MODEL: CUSTOM

2 of 12

DO NOT SCALE FROM THIS DRAWINGS
 All sub contractors to check dimensions & notes prior to commencing works. Any discrepancies to be notified to Site Supervision without delay.
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